

# Pōhutukawa Coast & Country PROPERTY GUIDE

May 2024



## 232 Jack Lachlan Drive, Pine Harbour Marina, Beachlands

Open Homes Sat/Sun 1:00-1:30pm

**BEST OF BOAT WORLDS!** Want the best of both worlds? Then this beautiful home might be the one for you. With the convenience of being right in the heart of Pine Harbour Marina it's your chance to be close to the boats, marina, beach, cafes, restaurants and ferry service to the city - and it's all just a short stroll from your very own front door. This very stylish home offers approximately 247m<sup>2</sup> of low maintenance, double glazed living and a family friendly floor plan. The open plan modern kitchen comes equipped with top quality appliances and the 2 separate living spaces offer great flow to the sunny north facing deck and garden. The home boasts 5 double bedrooms, one of which is on the ground floor that could just as easily be an office as it could be a guest bedroom. There are also 3 bathrooms, separate laundry and internal double garaging. Watch our Special Agents 003 video tour.

Marketed By: Special Agents 003

Ian Boswell 027 285 9314,

Nicolette Hale 027 702 9157,

Jenny Chandler 020 4000 2564

BARFOOT & THOMPSON



## 29 Toomer Place, Beachlands

Auction 6:00pm 27 May 2024 (Unless Sold Prior) | Open Homes Sat/Sun 12:00-12:30pm

**TAKE TWO** This four-bedroom home is a testament to luxury, where every detail has been carefully crafted to create a home that reflects the modern Beachlands lifestyle. Step into the recently renovated kitchen. From sleek countertops to modern appliances, this space is tailored for both everyday convenience and entertaining. With a separate living area, family bathroom and extra powder room, this home caters for guests or extended family. Bathed in natural light, the living area offers a warm and inviting atmosphere. Whether you're relaxing with family or hosting friends, this is a space designed for making lasting memories. Enjoy the luxury of ample off-street parking right at your doorstep. With more than enough space to park a boat, caravan and your cars, you won't have to worry about storing the toys.

Marketed By:

Brie Bignell

021 400 979

OFFICE: 09 536 7011

Lighthouse Real Estate Ltd

- Licensed (REAA 2008)

SIGNATURE HOMES BOTANY & MANUKAU

# Thinking of building?



Talk to us today about your new home possibilities, and work alongside our expert team to craft a home that perfectly aligns with your preferences and lifestyle.

Matthew Woodward | matthewwoodward@signature.co.nz | 021 0245 1308

Angela Whiting | angelawhiting@signature.co.nz | 021 818 500



## BARFOOT & THOMPSON



### MARAETAI

104 MARAETAI SCHOOL ROAD

### 104 - what are you waiting for!

Gentle contours, North facing, and great views!

What else could you ask for when searching for the location for your dream build? Maybe you'd like to know about what will be built next door? Well, that's taken care of too!

Mike Deverell  
021 466 300  
m.deverell@barfoot.co.nz

Matthew Brown  
027 549 4673  
m.brown@barfoot.co.nz

**FOR SALE**

\$845000

**VIEWING**

Phone For Viewing Times

barfoot.co.nz/862618

### MARAETAI

13 COLSON LANE



**FOR SALE**

\$788,000

**VIEWING**

Phone Ian, Jenny, Nicolette, Mark  
SPECIAL AGENTS 003

barfoot.co.nz/856863

### BEACH HOP!

This challenging but rewarding building posi is ready and waiting for your grand design to make the most of it's elevated section location with stunning views. Whether you're looking to build your dream home or finding a slice of land to invest in, this 700m<sup>2</sup> section is well worth your inspection. Call 003 for more info.

Special Agents 003  
Ian Boswell - 027 285 9314  
Jenny Chandler - 0204 000 2564  
Nicolette Hale 027 702 9157  
Mark Van Etten - 027 523 2245  
i.boswell@barfoot.co.nz

# Recent Land Sales

## Whitford

**BARFOOT & THOMPSON**  
ESTD 1988  
**BEACHLANDS**

**SOLD**

Turanui Estuary Clifton Beach  
 Lot 9 500 Clifton **SOLD**  
 Lot 10 510 Clifton Rd  
 Lot 11 520 Clifton Rd **SOLD**  
**510 Clifton Road Whitford**  
 Marketed and sold by MKS  
 Matthew 027 549 4673  
 Kathryn 027 486 3488  
 Stuart 027 668 0287

**SOLD**

**118 Potts Road Whitford**  
 Marketed and sold by 003  
 Nicolette 027 702 9157  
 Ian 027 285 9314  
 Jenny 0204 000 2564

**SOLD**

**283 Ara-Kotinga Whitford**  
 Marketed and sold by MKS  
 Matthew 027 549 4673  
 Kathryn 027 486 3488  
 Stuart 027 668 0287

**SOLD**

**5 Waikopua Road Whitford**  
 Marketed and sold by MKS  
 Matthew 027 549 4673  
 Kathryn 027 486 3488  
 Stuart 027 668 0287

**BARFOOT & THOMPSON**  
ESTD 1988

**30 Carlton Crescent**  
**NEW LISTING**

**FOR SALE**

**MARAETAI**  
 30 CARLTON CRESCENT

808m<sup>2</sup>

**TENDER**  
 4:00pm 31 May 2024 (unless sold prior)  
**VIEWING**  
 Phone For Viewing Times

barfoot.co.nz/859667

**TAKE YOUR BREATH AWAY**

Building consent granted for a dream home with breathtaking views. Nestled in the heart of Maraetai, Auckland, an extraordinary canvas awaits your dream home. A coastal gem lifestyle framed by the sweeping views of Maraetai Beach, the Tamaki Strait, and Waiheke Island.

Matthew Brown  
 027 549 4673  
 m.brown@barfoot.co.nz  
 Mike Deverell  
 021 466 300  
 m.deverell@barfoot.co.nz

**BEACHLANDS**  
 27 TUI BRAE



**FOR SALE**  
 \$1,675,000  
**VIEWING**  
 Contact Special Agents 002 to arrange to view

barfoot.co.nz/864318

**PRICE POINT - CVI**

- Elevated above Pine Harbour marina
- Stunning sea views!
- 1271m<sup>2</sup> premium marina section
- Envision your masterpiece dream home
- Watch our Special Agents 003 video
- Please don't miss 'The Point' for this amazing opportunity

**SPECIAL AGENTS 003**  
 Ian, Jenny, Mark and Nicolette  
 Ian Boswell 027 285 9314  
 Nicolette Hale 027 702 9157  
 Jenny Chandler 0204 000 2564



# COMPETITION CREATORS®

Choose A Ray White Beachlands Auction For When Every Dollar Counts...

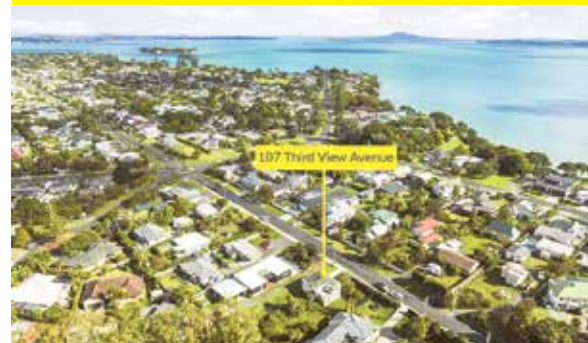
Our Auction results continue to impress in 2024!

With a typical Days On Market (DOM) of 29 and a 73.2% clearance rate within 90 days, versus Private Treaty, which typically sits around 64 DOM and with a 50% 90 day clearance rate, it is the Auction method that clearly outperforms all other methods of sale.

Stats updated and reflective of current internal market trends as at 23/04/2024

**Auction Results Prevail in 2024**  
**Talk to the team today about our process and how Ray White Auctions work best!**

## Another Sold By Auction



### Most Recent Case Study: 107 Third View Avenue, Beachlands

Auction Held 6:00 pm on 6 May, 2024  
 Location: The Shed @ Ray White Beachlands  
 Days On Market: 18  
 Total Number of Inspections: 22  
 Pre Auction Offers: N/A  
 Registered Bidders: 2  
 Active Bidders: 2  
 Sold Under The Hammer for \$730,000  
 Check Out The Full Video Coverage Here:  
[rwbeachlands.co.nz/watch-our-auctions-live](http://rwbeachlands.co.nz/watch-our-auctions-live)



## AUCTION

72 Constellation Avenue, Beachlands

Everything You Ever Wanted - stunning residence nestled in one of Beachlands' most sought-after locations.

- Open plan kitchen, fitted with high-end appliances, caters to culinary enthusiasts.
- Living & dining area effortlessly extend to the fully fenced private backyard, perfect for entertaining or unwinding in peace.
- A study for remote work, a second living area & a separate laundry/WC - this home accommodates growing families with ease.

[rwbeachlands.co.nz/BCH30939](http://rwbeachlands.co.nz/BCH30939)

Lighthouse Real Estate Ltd Licensed (REAA 2008)

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**Auction**  
 the Shed @ Ray White Beachlands  
 6:00 pm 20 May 2024  
 (Unless Sold Prior)

**View**  
 Saturday & Sunday  
 12:45 - 1:15 pm



**Paula Kirkman**  
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**Brianne Bignell**  
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WHY WAIT?

# Statistics show house prices flatten in April

- content by CoreLogic

Home value growth in Aotearoa New Zealand stalled in April, with the 0.1% dip indicative of the indecisive nature of the property market at present.

CoreLogic's House Price Index edged down 0.1% in April, with the average NZ property value now \$933,633, up around 3% from September's trough, but still almost 11% less than the peak.

Below the 'flat' national result, the main centres continue to show some variability. Dunedin values rose 0.7% in April, with Wellington and Hamilton seeing 0.4% growth. But Christchurch and Tauranga flattened (-0.1% apiece) and Auckland values dipped 0.6%.

CoreLogic NZ Chief Property Economist, Kelvin Davidson, said the continuation of soft house price trends in April reaffirms the sense of a 'buyer's market', giving sellers reduced bargaining power.

"House prices are certainly lacking any strong momentum at present. Given the rise in total listings available on the market, as new properties come forward for sale but actual

CoreLogic House Price Index - National and Main Centres

	Change in property values				Average Value
	Month	Quarter	Annual	From peak	
<b>New Zealand</b>	-0.1%	0.6%	0.5%	-10.5%	<b>\$933,633</b>
Auckland	-0.6%	0.0%	-1.8%	-15.1%	\$1,290,329
Hamilton	0.4%	0.3%	0.5%	-10.8%	\$810,325
Tauranga	-0.1%	-0.2%	-1.0%	-12.6%	\$1,036,784
Wellington	0.4%	1.8%	2.7%	-18.6%	\$926,262
Christchurch	-0.1%	0.5%	3.8%	-2.7%	\$761,873
Dunedin	0.7%	1.6%	4.0%	-9.8%	\$645,121

transactions remain subdued, it's no surprise price growth has flattened off," Mr Davidson said.

"To be fair, buyers don't have it all their own way. For a start, they've got to have their finance in place first, and that's not easy with mortgage rates still hovering at around 7%. In addition, with new jobs still being filled and the unemployment rate relatively low for now, there aren't many 'forced sellers' out there at the moment either."

"Even so, elevated stock levels mean that finance-approved buyers are in the ascendency. In this environment, I'd expect house price movements to remain a bit variable from month to month, and across regions too," Mr Davidson added.

"We're also now very close to finding out what a system of capping debt to income ratios might look like in NZ, and although deposit requirements will probably ease at the same time, DTI limits are also a reason to

be cautious about the housing market's outlook into 2025 as well."

Market performance was variable across Auckland in April, with Rodney the only area to see a small rise. Auckland City saw a minor decline, while Waitakere, Manukau, and Franklin recorded falls of 0.6-0.9%, and North Shore and Franklin were more than 1% down.

Over quarterly and annual horizons, the data also remains patchy across Auckland, with Rodney having seen values rise since January (2.1%) and also compared to last April (0.9%), but an area such as Papakura is now 1.9% down since January, and Auckland City for example still 5% lower than last April.

"I'd always be cautious of reading too much into the results for a single month, but the sluggishness and general variability of house prices across Auckland's sub-markets in April is probably a timely reminder of the challenges that buyers face from high mortgage rates and stretched affordability, even though they have more choice amongst the stock of listings on the market," Mr Davidson said.

JUST LISTED

New Zealand

## 177A Jones Road, Drury

3 2 5 Floor: 372 sqm Land: 7.47 ha

High above Clevedon, this hilltop home offers stunning 360° views over Clevedon and Hunua valleys, with Rangitoto, Coromandel, and the Sky Tower visible on the horizon. Crafted from over 500 hand-selected Douglas Fir logs milled in Rotorua, NZ. The property has been meticulously renovated to a condition surpassing its original state. The impressive logs create a unique warmth and cosiness akin to something out of "Yellowstone". Extensive Kwila hardwood decking wraps around the home on the lower level offering multiple options for entertaining or relaxing no matter the weather. A spacious three-bedroom floorplan allows for three additional bedrooms to be created if desired. Upstairs, the master suite's private balconies showcase panoramic views accompanied by idyllic birdsong. The majority of the expansive 18+ acres comprises pristine native bushland ensuring unobstructed views and easy care. A sheltered paddock accommodates a pony or sheep or provides a stunning building platform for a cabin. Extensive garaging, games area, Finnish sauna, chicken coops and tiered gardens complete the picture.

**OPEN HOME:** Sunday's 5 May - 19 May 11:00 - 11:45am

**AUCTION:** 21 May 2024 at 10:30am, In Rooms (unless sold prior)

**VIEW:** [nzsothebysrealty.com/SED10020](https://nzsothebysrealty.com/SED10020)

**SARAH RICHARDSON** 021 711 156



Scan to see more photos



# ARE YOU SELLING?

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## AUCTION

67 Shelly Bay Road, Beachlands

The Art of Seclusion - Welcome to your dream home, where enchantment meets convenience! Nestled in serene seclusion and just minutes away from the local beach, park and shops, experience the perfect blend of tranquility and accessibility.

- Be captivated by the allure of picturesque, landscaped gardens.
- The heart of the home is an open plan living, kitchen and dining area that seamlessly flow out to a patio surrounded by mature trees and a sparkling swimming pool.
- Parking is a breeze - larger than normal double garage and ample off-street.

[rwbeachlands.co.nz/BCH30803](http://rwbeachlands.co.nz/BCH30803)

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**For Sale**  
\$1,725,000

**View**  
Sunday  
2:15 - 2:45 pm



**Brianne Bignell**  
021 400 979  
[brianne.bignell@raywhite.com](mailto:brianne.bignell@raywhite.com)

ALAN WHITE  
**ELITE**  
PERFORMER 2023



**Paula Kirkman**  
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WHY WAIT?



# Pōhutukawa Coast & Country OPEN HOMES

## OPEN HOMES - SATURDAY 11 MAY & SUNDAY 12 MAY 2024

SATURDAY	SUNDAY	PRICE	ADDRESS	DESCRIPTION	OFFICE
	2:00 - 2:30	\$1,495,000	4 Barmaree Lane, Beachlands	4 bedrooms, 2 bathrooms, 2 lounges, 2 car garaging, stunning kitchen	Barfoot & Thompson
1:00 - 1:30	1:00 - 1:30	Tender 23 May (unless sold prior)	232 Jack Lachlan Drive, Pine Harbour Marina, Beachlands	5 bedrooms, 3 bathrooms, 2 lounges, 2 car garaging, double glazed, gorgeous kitchen	Barfoot & Thompson
12:00 - 12:30	12:00 - 12:30	\$1,665,000	2 The Way, Beachlands	4 bedrooms, 4 bathrooms, 3 lounges, office, double garage, sea views	Barfoot & Thompson
		\$1,849,000	1 Maraetai Heights Road, Maraetai	3 bedrooms, 3 bathrooms, office, approximately 300m <sup>2</sup> , expansive sea views	Barfoot & Thompson
		\$1,595,000	31 Karaka Road, Beachlands	4 bedrooms, 3 bathrooms, 3 lounges, 1 office, recently renovated, 1/4 acre	Barfoot & Thompson
	11:00 - 11:30	\$1,449,000	26 Pohutukawa Road, Beachlands	4 bedrooms, 2 bathrooms, 2 lounges, 2 car garaging, swimming pool, 1/4 acre, sea views	Barfoot & Thompson
	12:00 - 12:30	\$1,699,000	9 Matara Ave, Maraetai	4 bedrooms, 3 bathrooms, 2 lounges, 2 car garaging	Barfoot & Thompson
11:00 - 11:30	11:00 - 11:30	By Negotiation	5 Matata Dr, Takanini	4 bedrooms, 2 bathrooms, 2 car garaging	Barfoot & Thompson
12:00 - 12:30	12:00 - 12:30	\$1,490,000	242 Jones Rd, Hunua	4 bedrooms, 2 bathrooms, 2 lounges, 2+ hectares	Barfoot & Thompson
1:00 - 1:30	1:00 - 1:30	By Negotiation	8 & 8A Eckford Ln, Maraetai	6 bedrooms, 3 bathrooms, 2 car garaging, panoramic views	Barfoot & Thompson
12:00 - 12:30		By Negotiation	16 Matara Ave, Maraetai	5 bedrooms, 3 bathrooms, 2 lounges, 2 car garaging	Barfoot & Thompson
2:00 - 2:30	2:00 - 2:30	\$1,549,000	83 Beachlands Rd, Beachlands	4 bedrooms, 2 bathrooms, open plan kitchen, sea views	Barfoot & Thompson
	2:00 - 2:30	By Negotiation	37 Maraetai School Rd, Maraetai	3 bedrooms, 2 bathrooms, 2 car garaging, 1186m <sup>2</sup> native bush section	Barfoot & Thompson
	1:00 - 1:30	\$1,595,000	2 Harbourside Court, Beachlands	5 bedrooms, 2 bathrooms, 2 lounges, 2 car garaging	Barfoot & Thompson
3:00 - 3:30	3:00 - 3:30	Negotiation	20 Kibblewhite Avenue, Beachlands	4 bedrooms, 2 bathrooms, 2 lounges, approximately 236m <sup>2</sup> , double garaging	Barfoot & Thompson
1:00 - 1:30	1:00 - 1:30	\$2,295,000	109 Liberty Crescent, Spinnaker Bay, Beachlands	4 bedrooms, 3 bathrooms, 3 lounges, 2 car garaging, approximately 335m <sup>2</sup>	Barfoot & Thompson
	3:00 - 3:30	By Negotiation	13 Puriri Road, Beachlands	3 bedrooms, 2 bathrooms, 2 car garaging, massive 2125m <sup>2</sup> waterfront section	Barfoot & Thompson
	12:00 - 12:30	\$1,949,000	71 Seventh View Avenue, Beachlands	5 bedrooms, 3 bathrooms, 2 lounges, 2 car garaging, 9 metre swimming pool	Barfoot & Thompson
11:00 - 11:30	12:00 - 12:30	By Negotiation	166 Seventh View Avenue, Beachlands	3 bedrooms, 2 bathrooms townhouse, single garage, double glazing	Barfoot & Thompson
12:00 - 12:30		By Negotiation	184 Seventh View Avenue, Beachlands	5 bedrooms, 3 bathrooms, 2 lounges, approximately 190m <sup>2</sup> , double garaging	Barfoot & Thompson
	12:00 - 12:30	\$1,150,000	6 Maraetai Heights Road, Maraetai	3 bedrooms, 1 bathroom, sea views, 2 car garaging, 1227m <sup>2</sup> section	Barfoot & Thompson
	11:00 - 11:30	\$4,525,000	69 Potts Rd, Whitford	4 bedrooms, 2 bathroom, vegetable gardens and orchard, olive grove, over 5 acres	Barfoot & Thompson
2:00 - 2:30	2:00 - 2:30	By Negotiation	36 Maraetai School Rd	3 bedrooms, 2 bathroom, 1 office, sea views	Barfoot & Thompson
1:00 - 1:30	1:00 - 1:30	Tender (unless sold prior)	3a Araminta Pl, Beachlands	3 bedrooms, 2 bathrooms, 2 car garaging, close to local amenities	Barfoot & Thompson
3:00 - 3:30	3:00 - 3:30	Tender 9 May (unless sold prior)	17 Lydiard Place, Beachlands	4 bedrooms, office, 2 bathrooms, 2 lounges, gorgeous kitchen with butler's pantry	Barfoot & Thompson
4:00 - 4:30		Tender 9 May (unless sold prior)	117 Pine Harbour Pde, Beachlands	5 bedrooms, 3 bathrooms, 2 lounges, 2 car garaging, approximately 260m <sup>2</sup>	Barfoot & Thompson
2:00 - 2:30	2:00 - 2:30	Tender 16 May (unless sold prior)	77 Karaka Rd, Beachlands	Home & income. Main house: 4 bedrooms, 2 bathrooms, 2 lounges. Minor: bedroom, bathroom, lounge	Barfoot & Thompson
12:00 - 12:30	12:00 - 12:30	Tender 16 May (unless sold prior)	46 Whites Rd, Whitford	Lifestyle property, 4 bedrooms, 2 bathrooms, 2 lounges, office, big garaging on approximately 5 acres	Barfoot & Thompson
3:00 - 3:30	3:00 - 3:30	Tender 29 May (unless sold prior)	12 Potts Rd, Whitford	5 bedrooms, 4 bathrooms, 3 lounges, pool, 10.1840ha, barn, stables	Barfoot & Thompson
1:00 - 1:30	1:00 - 1:30	By Negotiation	12 Arthur Wright	5 bedrooms, 3 bathroom, 2 car garaging	Barfoot & Thompson
	12:00 - 12:30	By Negotiation	15 Matara Avenue, Maraetai	4 bedrooms, 3 bathrooms, 2 lounges, 2 car garaging	Barfoot & Thompson
10:30 - 11:00	10:30 - 11:00	From \$649,000	45 Kouka Road, Beachlands	1, 2 & 3 bedroom apartments in central location Be a part of Beachlands' newest development!	Ray White Beachlands
11:15 - 11:45	11:15 - 11:45	By Negotiation	74 Craig Road, Maraetai	Dress circle location, quality home with beautiful sea views over Omana, an immaculately presented, extremely high quality home	Ray White Beachlands
11:15 - 11:45	11:15 - 11:45	By Negotiation	16 Omana Esplanade, Maraetai	When only the front row will do: a very rare Omana waterfront opportunity	Ray White Beachlands
11:15 - 11:45	11:15 - 11:45	\$1,299,000	37 Shelly Bay Road, Beachlands	Home and income! A hot commodity and hard to come by. Be quick - sharp price!	Ray White Beachlands
12:00 - 12:30	12:00 - 12:30	By Negotiation	14 Thistle Close, Beachlands	Luxurious living, 7 year old 4 bedroom Stonewood home with elevation and sea views	Ray White Beachlands
12:00 - 12:30	12:00 - 12:30	Auction	29 Toomer Place, Beachlands	Large family residence plus granny flat in quiet location, close to Pine Harbour Marina and amenities	Ray White Beachlands
12:45 - 1:15	12:45 - 1:15	\$1,379,000	28 Third View Avenue, Beachlands	Large, renovated 2 level 4 bedroom home on a quarter acre site in the heart of original Beachlands	Ray White Beachlands
12:45 - 1:15	12:45 - 1:15	Auction	72 Constellation Avenue, Beachlands	Stunning residence nestled in one of Beachlands' most sought after locations. 4 bedrooms, close to Te Puru Park and reserve	Ray White Beachlands
12:45 - 1:15	12:45 - 1:15	Auction	149 Second View Avenue, Beachlands	Immaculate home plus superb sleepout in quality location, just a stones' throw from Leigh Auton Reserve	Ray White Beachlands
1:30 - 2:00	1:30 - 2:00	By Negotiation	27 Doidge Street, Beachlands	Fletcher living made easy - cul-de-sac location, family firendly with 4 bedrooms and 2 living all on single level. Immaculate throughout	Ray White Beachlands
1:30 - 2:00	1:30 - 2:00	Auction	139 Second View Avenue, Beachlands	Seaside gem across the road from Shelly Bay Beach. Recently renovated	Ray White Beachlands
1:30 - 2:00	1:30 - 2:00	Auction	3 Mariner Lane, Beachlands	Modernised Fletcher home in the highly sought after Pine Harbour Estate neighbourhood. Walk to your boat!	Ray White Beachlands
2:15 - 2:45		\$1,549,000	146 Eighth View Avenue, Beachlands	Spectacular Jennian Show home, fabulous location for families with 4 bedrooms and single level living	Ray White Beachlands
	2:15 - 2:45	\$1,725,000	67 Shelly Bay Road, Beachlands	Country estate in the heart of Beachlands. A superb residence with quality throughout	Ray White Beachlands
2:15 - 2:45	2:15 - 2:45	By Negotiation	39 Second View Avenue, Beachlands	A fantastic family home in original Beachlands. Character home, lovingly cared for and perfect for the growing family	Ray White Beachlands
2:15 - 2:45	2:15 - 2:45	Deadline Sale	2/13 Paketai Avenue, Beachlands	Pine Harbour location, modern neat & tidy Mike Greer townhouse. Great buying!	Ray White Beachlands
3:00 - 3:30	3:00 - 3:30	\$1,849,000	189 Jack Lachlan Drive, Beachlands	Stunning Jalcon Boathouse in Pine Harbour Marina precinct. Customised to include a lift for multi generational use	Ray White Beachlands



# Pōhutukawa Coast & Country OPEN HOMES

OPEN HOMES (ON P7) - SATURDAY 13 APRIL & SUNDAY 14 APRIL 2024 - SEE INSIDE BACK COVER



## 12 Potts Road, Whitford

**Sale by Tender 29 May 2024**

**Open Homes Sat/Sun 3:00-3:30pm**

Tucked away down a meandering tree-lined drive lies this exquisite property set on 25 acres of freehold land on the prestigious Clifton Peninsula and one of Whitford's most sought-after streets. With the possibility for future development, this thoughtfully curated property cannot be appreciated from photography alone. Arrive through the double doors into the grand foyer with its high stud and designer chrome lighting. Designed with family in mind with 5 oversized bedrooms and no less than 4 bathrooms all set on one level, its 420m<sup>2</sup> offers quality, comfort, and style plus multiple zones indoors and out to suit any family and multi-generational dynamic. The gently contoured 16 paddocks are suitable for both pets and livestock, and the 240m<sup>2</sup> high stud barn with integrated stables has lots of room for the horse truck or the boys toys. This stunning lifestyle home has to be seen to be appreciated.



**Marketed By: MKS - Matt Kath Stu**  
 Matthew Brown 0275 494 673  
 Kathryn Morris 0274 863 488  
 Stuart Fitzpatrick 0276 680 287

**BARFOOT & THOMPSON**



## 37 Shelly Bay Road, Beachlands

\$1,299,000 | **Open Homes Sat/Sun 11:15-11:45pm**

**HOME & INCOME - SHARP PRICE!** This exclusive property in the heart of Beachlands is now on the market for the first time and it is seriously for sale. The vendors are on a flight overseas, so this is your chance to secure a slice of real estate in a prime location. What's even better, it's a home and income!

Located at the front of the property is a 3 bedroom, 2 bathroom home with open plan living, kitchen and dining that flows out to a sunny deck. At the back of the property, there's a separate 2 bedroom, 1 bathroom minor dwelling with a double garage, providing additional income potential. Combined, the property offers a possible rental income of \$1,340 per week. Just a short stroll from Sunkist Bay Beach, Beachlands School and the dog park, this home is perfect for investors, growing families or anyone looking for additional income.



**Marketed By:**  
 Brie Bignell  
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 OFFICE: 09 536 7011  
 Lighthouse Real Estate Ltd  
 - Licensed (REAA 2008)